



# ARIZONA SCHOOL FACILITIES BOARD PREVENTATIVE MAINTENANCE INSPECTION OF CHINO VALLEY UNIFIED SCHOOL DISTRICT

## REPORT HIGHLIGHTS

### Conclusion:

Chino Valley Unified School District has the required Preventative Maintenance Plan filed with the SFB pursuant to ARS §15-2002.

### Recommendations:

While the district's facilities appear to be well maintained, the district does not have documentation and written procedures to follow in the event current staff retires or leaves the district. The district needs to implement this as well as the other goals and recommendations established and agreed to during the PM Workshop.

### Follow-up:

The SFB shall contact the district within 180 days to review field inspection findings and the Preventative Maintenance Program as submitted by the district.

## Preventative Maintenance Inspection Process

In July of 2009, the School Facilities Board completed a Preventative Maintenance Inspection of Chino Valley Unified in accordance with ARS §15-2002.

Inspection process:

1. Discuss with district personnel the current status of the district's preventative maintenance program and demonstrate the required procedures, reports and goals of the School Facilities Board.
2. Perform a field inspection of all school facilities, and
3. Conduct a demonstration workshop with district administrators and maintenance personnel on the requirements and benefits of a compliant Preventative Maintenance Program.

## Findings

Following are the findings of the Preventative Maintenance Inspection:

1. The district conducts periodic preventative maintenance inspections and tasks, but the SFB field inspection revealed issues that were not documented.
2. The district work order system is primarily for reporting issues by faculty or staff from outside the maintenance department.
3. It appears the district is not tracking the PM Tasks as they are performed. The report is being done in whole at one time.

Current 3-Yr Building Renewal Plan.....	YES
Preventative Maintenance Plan on file.....	YES
District Self-Evaluation Score.....	55
(see sidebar on Page 2)	



**Chino Valley Unified**

**District Overview**

Yavapai County	
Students	2,713
Schools	4
Buildings	42
Square Footage	330,989

**District Self-Evaluation Scoring**

<u>Score</u>	<u>Evaluation</u>
26 – 42	Excelling PM program
43 – 56	Adequate PM program
57 – 69	Minimal PM program
70 – 85	Need PM program

**Field Inspection Summary**

Listed below are some of the preventative maintenance findings identified during the field inspection:

**HVAC**

Units have exceeded useful life  
Units have hail damage

**ROOFING**

Many stained ceiling tiles

**PLUMBING**

Insecure faucet mounting/dripping  
Broken recirculation valves

**ELECTRICAL**

Unmarked breakers

**SURFACES**

Flooding issues  
Parking lots need resurfacing

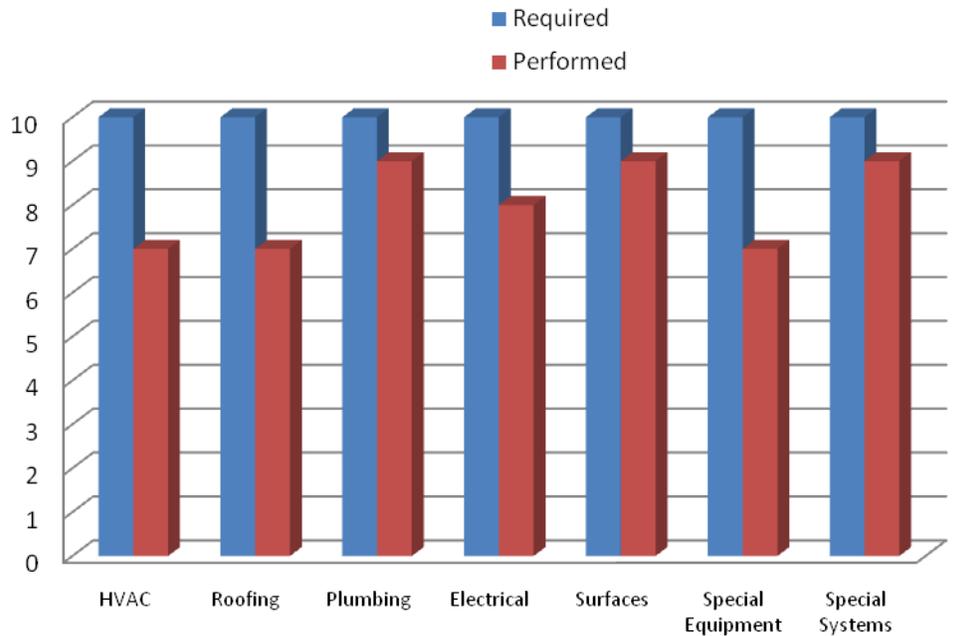
**SPECIAL EQUIPMENT**

Door hardware needs replaced

**SPECIAL SYSTEMS**

Well maintained

**SFB Evaluation of PM Tasks Performed**



SFB Evaluation (on scale of 1 to 10) of PM Tasks performed as shown in chart above:

	HVAC	Roofing	Plumbing	Electrical	Surfaces	Special Equipment	Special Systems
Required	10	10	10	10	10	10	10
Performed	7	7	9	8	9	7	9

### Workshop Attendees

Duane Noggle  
Superintendent

Steven Hill  
Site Manager

Malcolm Ross  
Maintenance Technician

Chuck Aflitto  
Site Supervisor

Mike McKeon  
Site Supervisor

Lyle A. Gilson  
Site Manager

## **Workshop**

A Preventative Maintenance Workshop was held for the district's administrative and maintenance personnel, which included discussion on the district's current preventative maintenance program and the improvements they need to implement, including use of the SFB Preventative Maintenance Program.

A walk-through inspection of the school's facilities was conducted, during which maintenance personnel took a critical look at the equipment and buildings and listed each maintenance issue that was found. Maintenance personnel were aware of many of these issues, but none had been officially documented. Demonstration, discussion and collaboration concluded that the issues found during the walk-through inspection should be addressed through use of the SFB Preventative Maintenance and Building Renewal programs.

## **Recommendations**

During the Workshop, district personnel and SFB staff established the following preventative maintenance goals and recommendations:

1. Develop a compliant preventative maintenance program with documentation and written procedures that would allow for a smooth transition to new personnel in the event current administrative or maintenance personnel retire or leave the district.
2. To develop a work order system that seeks input from maintenance personnel, tracks and prioritizes preventative maintenance issues and tasks completed, as well as trends and key data to assist in decision-making.
3. To schedule and conduct four (4) inspections of equipment and buildings each year using the SFB Preventative Maintenance Plan and Task Sheets as a guide to document and prioritize work orders regarding any issues or concerns discovered during the inspections.
4. To develop maps and spreadsheets that contains the location and essential information (manufacturer, age, capacity, etc.) of each piece of equipment, roof, etc.
5. To develop maps of underground utilities and emergency shut-offs and provide training for administrative and maintenance personnel on their location (well marked and easy to identify) and function.
6. Use the preventative maintenance program to identify and plan future projects as part of their SFB 3-Year Building Renewal Plan.

## Benefits

Proper use of the SFB Preventative Maintenance Program in conjunction with the Building Renewal Program has proven to provide the following benefits:

1. Improved educational achievement.
2. Projects are developed and prioritized based on real need.
3. Reduced costs and improved routine maintenance.
4. Facilities maintain code requirements for fire, health and safety.
5. Maximize use of Building Renewal funds.
6. Equipment replacement based on life-cycle.
7. Reduced energy costs.

To view the backup documentation for this report click the link below:

[Chino Valley Unified](#)