



ARIZONA SCHOOL FACILITIES BOARD PREVENTATIVE MAINTENANCE INSPECTION OF SANTA CRUZ VALLEY UNION HIGH SCHOOL DISTRICT

REPORT HIGHLIGHTS

Conclusion:

Santa Cruz Valley Union High School District does not have a Preventative Maintenance Program as required by ARS §15-2002.

Recommendations:

The district should submit to the SFB a comprehensive Preventative Maintenance Program as outlined under Recommendations on Page 3 of this report.

Follow-up:

The SFB shall contact the district within 180 days to review field inspection findings and the Preventative Maintenance Program as submitted by the district.

Preventative Maintenance Inspection Process

In June of 2009, the School Facilities Board completed a Preventative Maintenance Inspection of Santa Cruz Valley Union in accordance with ARS §15-2002.

Inspection process:

1. Discuss with district personnel the current status of the district's preventative maintenance program and demonstrate the required procedures, reports and goals of the School Facilities Board.
2. Perform a field inspection of all school facilities, and
3. Conduct a demonstration workshop with district administrators and maintenance personnel on the requirements and benefits of a compliant Preventative Maintenance Program.

Findings

The district scored 53 points (adequate PM program) on their self-evaluation; however, following are the findings of the Preventative Maintenance Inspection:

1. The district does not conduct scheduled inspections of equipment and buildings.
2. The district has no record of performing preventative maintenance on equipment and buildings.
3. The district work order system does not support preventative maintenance.
4. The district performs only reactionary maintenance (urgent repairs) on equipment and buildings.
5. All personnel responsible for performing preventative maintenance are not fully aware of or understand the SFB Preventative Maintenance Program.

Current 3-Yr Building Renewal Plan.....	NO
Preventative Maintenance Plan on file.....	YES
District Self-Evaluation Score.....	53
(see sidebar on Page 2)	



Santa Cruz Valley Union

District Overview

Location: Pinal County,
Eloy, Arizona

Schools	1
Buildings	21
Students	496
Square Footage	138,919

District Self-Evaluation Scoring:

Score	Evaluation
26 – 42	Excelling PM program
43 – 56	Adequate PM program
57 – 69	Minimal PM program
70 – 85	Need PM program

Field Inspection Summary

Listed below are some of the preventative maintenance findings identified during the field inspection:

HVAC

Noisy units
Belts need replaced

ROOFING

No maintenance performed
Several require premature replacement

PLUMBING

Underground water leak since 2003

ELECTRICAL

Several unsafe in-house upgrades

SURFACES

Asphalt needs repair
Many sidewalk tripping hazards
Neglected cracks in block walls
Exterior & interior surfaces need paint

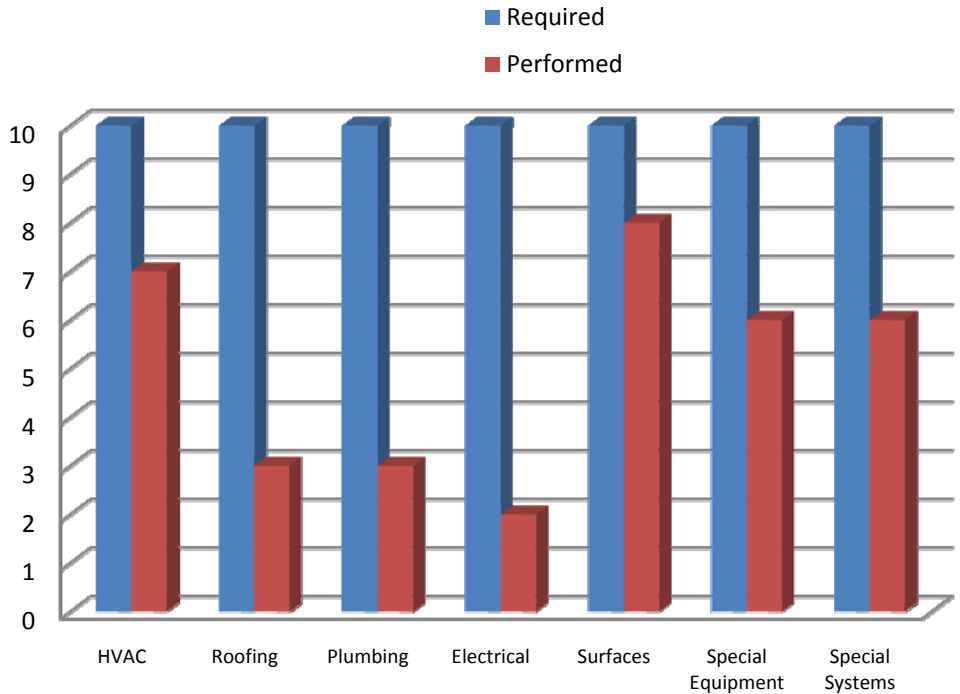
SPECIAL EQUIPMENT

Doors, hinges & jambs need repair

SPECIAL SYSTEMS

Emergency lighting batteries require maintenance
Fire alarm system needs repair
Underground special systems vaults flood & need repair

SFB Evaluation of PM Tasks Performed



SFB Evaluation (on scale of 1 to 10) of PM Tasks performed as shown in chart above:

	HVAC	Roofing	Plumbing	Electrical	Surfaces	Special Equipment	Special Systems
Required	10	10	10	10	10	10	10
Performed	7	3	3	2	8	6	6

Workshop Attendees

Jeff Van Handel
Business Manager

Ralph Moran
Director of Maintenance

Manuel Garcia
Maintenance Technician

Workshop

A Preventative Maintenance Workshop was held for the district's administrative and maintenance personnel, which included discussion on the district's current preventative maintenance program and the improvements they need to implement, including use of the SFB Preventative Maintenance Program.

A walk-through inspection of the school's facilities was conducted, during which maintenance personnel took a critical look at the equipment and buildings and listed each maintenance issue that was found. Maintenance personnel were aware of many of these issues, but none had been officially documented. Demonstration, discussion and collaboration concluded that the issues found during the walk-through inspection should be addressed through use of the SFB Preventative Maintenance and Building Renewal programs.

Recommendations

During the Workshop, SFB staff and district personnel established the following preventative maintenance goals and recommendations:

1. To implement a preventative maintenance program through staff development and instruction on use of the SFB Preventative Maintenance Program's procedures, reports and goals.
2. To develop a work order system that seeks input from maintenance personnel, tracks and prioritizes preventative maintenance issues and tasks completed, as well as trends and key data to assist in decision-making.
3. To schedule and conduct four (4) inspections of equipment and buildings each year using the SFB Preventative Maintenance Plan and Task Sheets as a guide to document and prioritize work orders regarding any issues or concerns discovered during the inspections.
4. Keep detailed records of preventative maintenance performed on equipment and buildings.
5. To develop maps and spreadsheets that contain the location and essential information (manufacturer, age, capacity, etc.) of each piece of equipment, roof, etc.
6. To develop maps of underground utilities and emergency shut-offs and provide training for administrative and maintenance personnel on their location (well marked and easy to identify) and function.
7. Provide the SFB with quarterly progress reports for twelve (12) months on the SFB PM Progress Report form.

Benefits

Proper use of the SFB Preventative Maintenance Program in conjunction with the Building Renewal Program has proven to provide the following benefits:

1. Improved educational achievement.
2. Projects are developed and prioritized based on real need.
3. Reduced costs and improved routine maintenance.
4. Facilities maintain code requirements for fire, health and safety.
5. Maximize use of Building Renewal funds.
6. Equipment replacement based on life-cycle.
7. Reduced energy costs.

To view the backup documentation for this report please click the following link:

[Santa Cruz Valley Union](#)